

# Seven Dolors Parish Building and Grounds Committee Agenda

**Date:** 04/28/2026 **Time:** 4pm **Location:** Parish Center

Mission: We exist to steward and maintain the physical spaces of Seven Dolors Parish so they remain welcoming, safe, and functional for parish and community life. We serve in an advisory role to Pastor and Parish Pastoral Council to provide sound advice on maintenance, improvements, and/or renovations that are identified.

## **I. Call to Order and Opening Prayer**

Father Leo offered the opening prayer.

- ❖ Fr. Leo (Ex Officio) **Present**
- ❖ Brayson Benne (Chair) **Present**
- ❖ Craig Ronnebaum (Secretary) **Present**
- ❖ Dale Anderson (Historian) **Absent**
- ❖ Oscar Bonilla (Hispanic Community Liaison) **Absent**
- ❖ Diane Noll (Finance Council Liaison) **Present**
- ❖ Maria McAnerney (Parish Staff Liaison) **Present**
- ❖ Ray Buyle (At-large, Construction Science) **Present via Teams**
- ❖ Lisa Johnson (At-large, Architect) **Present via Teams**
- ❖ John Strawbrich (Young Families/New Parishioners Liaison) **Present**
- ❖ Ulises Martinez (Ex Officio, Maintenance) **Present**
- ❖ Jeremy McGuire (Strategic Planning) **Present**

## **II. Review and Approval of March 10<sup>th</sup> Minutes**

Previous meeting minutes were approved.

## **III. Additions to Agenda?**

None

## **IV. Elevator Addition (From OAC Mtg)**

- ❖ Current concept budget to be updated after BHS receives latest plan revisions
- ❖ Will consider two options for pricing for committee to weigh decision
- ❖ **Clark Architects finalizing drawings for both options which are:**
  - **Larger Elevator Footprint**
    - Further away from church
    - More maneuverability to get to floors
    - Less risk for construction as not as close to church basement foundation
  - **Smaller Elevator Footprint**
    - Elevator rotated 90 degrees to stream line access to locations

- Better design from a mobility standpoint
- Reduces footprint of building
- Takes up less space and more appealing as an addition to the church
- Has potential to increase construction risk due to proximity to church foundation and footings
- Don't know how wide and deep existing church footings are, could cause issues during construction, underpinning may be required
- Clark Architects to finish both drawings and send them to BHS for cost estimates and constructability
- Need to consider handicapped parking stalls, will need to restripe parking stalls, should still have three parking stalls on north side of church
- Clark Architects to update renderings for both options for listening session on Thursday

## **V. Parish Center (From OAC Mtg)**

- ❖ Budget to be updated after BHS receives latest plan revisions
- ❖ Review Design Changes from Clark Arch
  - Clark Architects showed us proposed layout to reduce square footage to 35% of land coverage to meet City requirements.
  - Reduced hallway from 8 ft to 7 ft; trimmed office and meeting rooms down a couple feet on each side of the building
  - Still have spacious hallways at 7 ft with double doors and adequate size offices and meeting rooms
  - Could reduce hallway to 5 ft width but would only allow for single doors
  - Clark Architects will have updated floor plan by Thursday evening for the listening session.
- ❖ Target HRB Meeting in June
- ❖ Kevin's team looking at the roof design

## **VI. 721 Pierre House Move**

- ❖ Anderson Knight suggestions to gut house to make it renovation ready
- ❖ BHS progressing to move house
- ❖ Will free up space for future plans as they become better defined
- ❖ Waiting for Anderson Knight to provide update

## **VII. Early Learning Center**

- ❖ Report from ELC Sub-Committee
  - Determine next steps for committee
  - Have finished answering all the questions from the Parish survey
  - Power Point Presentation created
  - Ready to share an update with the Parish
  - Plan to present update at next month's listening session in May

## **VIII. 414 S 5<sup>th</sup> Street Warehouse**

- ❖ Toured warehouse with contractor, architect, Catholic Charities, Be Able, Seven Dolors staff

- ❖ Parish and Finance Council have given approval to pursue purchasing building
- ❖ Due-Diligence/feasibility analysis is ongoing with hopes to finalize soon with Diocese approval
- ❖ On-going collaboration with parish, dioceses, Catholic Charities, and Be Able about utilizing the warehouse if purchased

#### **IX. Communication**

- ❖ Table/Booth Sign up
- ❖ Listening Session #4
  - 4/30/2026 @ 7pm in Parish Basement

#### **X. Upcoming Dates**

**Next Building Committee Meeting: May 26, 2026 @ 4 pm**

#### **XI. Closing Prayer and Adjournment**

Father Leo closed the meeting with prayer.



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## Seven Dolors Projects – Precon Meeting Agenda

### Parish Center:

**April 2026 Concept Drawings SF +/- 26,500 SF** - Added roughly 6,000 SF

Drawings show roughly 27,500 SF - looking to confirm

July 2025 Concept Drawings - +/- 20,224 SF

Budget: \$8,500,000 = \$418.75 / SF

- Roof is now hip roof - design working on roof line
- Chapel roof looks to be moving up or down based on new roof line
- Mechanical to be placed in roof attic

Updated Schedule.

| 7 Events                    |      | 2025                                   |    |    | 2026 |    |    |    | 2027 |    |    |    | 2028 |    |
|-----------------------------|------|----------------------------------------|----|----|------|----|----|----|------|----|----|----|------|----|
|                             |      | Q2                                     | Q3 | Q4 | Q1   | Q2 | Q3 | Q4 | Q1   | Q2 | Q3 | Q4 | Q1   | Q2 |
| ○ Precon                    | Edit | Precon 06/02/2025 - 12/31/2026         |    |    |      |    |    |    |      |    |    |    |      |    |
| ◆ Concept Estimating        | Edit | ◆ Concept Estimating 03/02/2026        |    |    |      |    |    |    |      |    |    |    |      |    |
| ◆ Schematic Estimating      | Edit | ◆ Schematic Estimating 05/01/2026      |    |    |      |    |    |    |      |    |    |    |      |    |
| ◆ Design Details Estimating | Edit | ◆ Design Details Estimating 07/31/2026 |    |    |      |    |    |    |      |    |    |    |      |    |
| ◆ Bid Docs / GMP            | Edit | ◆ Bid Docs / GMP 11/02/2026            |    |    |      |    |    |    |      |    |    |    |      |    |
| ◆ GMP Proposal              | Edit | ◆ GMP Proposal 12/18/2026              |    |    |      |    |    |    |      |    |    |    |      |    |
| ○ Construction              | Edit | Construction 12/31/2026 - 01/17/2028   |    |    |      |    |    |    |      |    |    |    |      |    |

### Summary of Last Meeting:

Basement - portable divider for youth ministry, sewer unconfirmed, need list of finish items

First Floor – cut/move RR, reception moved to south of lobby

Second Floor – north offices to cubicle-type space, hallway width to 7 ft, storefront for mtg room

White House approved for AKA **BSMT - 2 exits for young ministry room, janitor sink in storage room, limited finishes for storage room, add window well and metal grate system**

**1ST - reduce reception desk size, sacristy uses simple sink**

### Next Steps:

**2ND - move counter top & wall to align with window at the kitchen**

Design Milestones / Overall Schedule Refinement

Precon Budgeting Updates

**BHS to hold off on updating budget until after April 30th/updated drawings**

### Next Meeting:

April 30<sup>th</sup>

**Next Meeting - 4/30/26 @ 11am**

**Key Note: Community event on 4/30/26**

Build Together.



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## Seven Dolors Projects – Precon Meeting Agenda

### Elevator:

July 2025 Concept Drawings

Budget: \$1,081,286

Excludes: Design Fees

- Elevator design is being reconsidered to move it closer to the existing building, potentially reducing the overall addition size but introducing excavation risks near old foundations

- Moving the elevator closer requires underpinning and shoring due to the need to dig deeper near old stone footings, which will add cost and complexity  
- Alternative placement farther from the building offers safer excavation but increases circulation space and overall footprint, with a trade-off between cost and usable space.

Placeholder Schedule - will be updated

| 7 Events                  |      | 2025                                 |    | 2026 |    |    |    | 2027 |    |    |    |
|---------------------------|------|--------------------------------------|----|------|----|----|----|------|----|----|----|
|                           |      | Q3                                   | Q4 | Q1   | Q2 | Q3 | Q4 | Q1   | Q2 | Q3 | Q4 |
| Precon                    | Edit | Precon 08/04/2025 - 03/02/2027       |    |      |    |    |    |      |    |    |    |
| Concept Estimating        | Edit | Concept Estimating 09/01/2025        |    |      |    |    |    |      |    |    |    |
| Schematic Estimating      | Edit | Schematic Estimating 04/01/2026      |    |      |    |    |    |      |    |    |    |
| Design Details Estimating | Edit | Design Details Estimating 07/01/2026 |    |      |    |    |    |      |    |    |    |
| Bid Docs / GMP            | Edit | Bid Docs / GMP 10/01/2026            |    |      |    |    |    |      |    |    |    |
| GMP Proposal              | Edit | GMP Proposal 11/16/2026              |    |      |    |    |    |      |    |    |    |
| Construction              | Edit | Construction 03/02/2027 - 10/01/2027 |    |      |    |    |    |      |    |    |    |

### Summary of Last Meeting:

Possibly reconfiguration of HVAC units. Could the AHU be stacked on the other units using a rack system?

Parking needed – location?

Elevator starts before Parish (wanting to move schedule up)

MEP is on board, Civil – Olsson, Structural – unknown

Historic will have to be considered - Allow additional two weeks before pricing to refine plans and ensure alignment with the 35% site coverage goal required by the historic board.

### Next Steps:

Elevator Project Contract

Design Milestones / Overall Schedule Refinement

Precon Budget Updates

- Coordination with the historic board is planned for May or June once updated plans and elevations meet their requirements

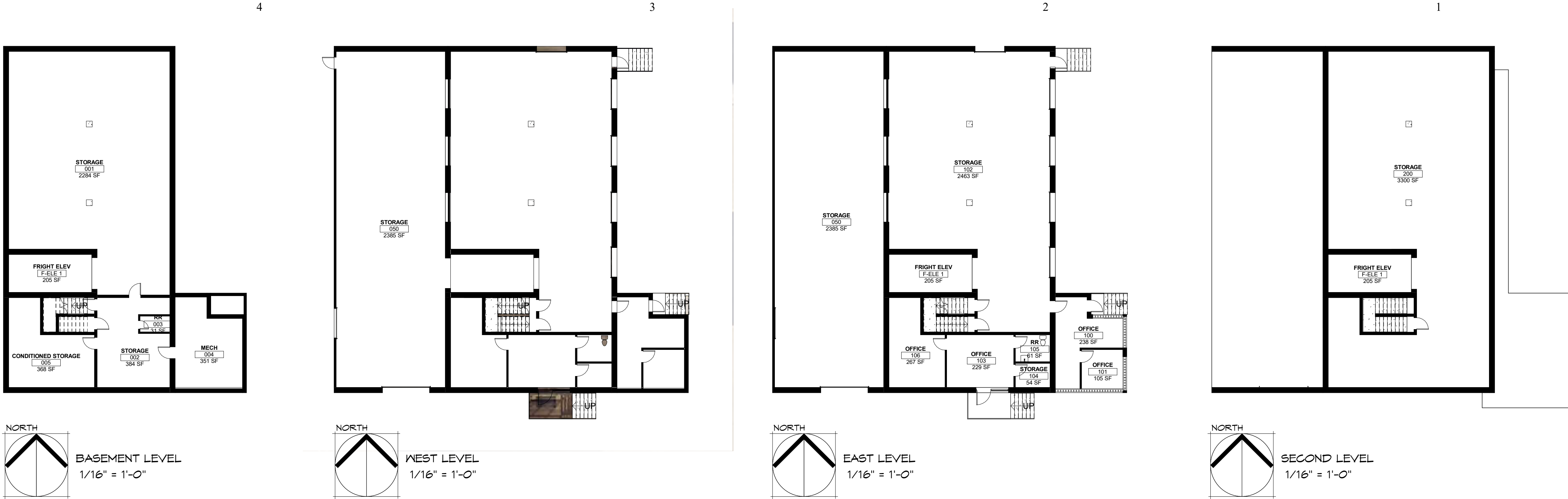
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April 30<sup>th</sup>

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Key Note: Community event on 4/30/26

Build Together.



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| REV                                       | DESCRIPTION | DATE            |
|-------------------------------------------|-------------|-----------------|
| PROGRESS DOCUMENT<br>NOT FOR CONSTRUCTION |             |                 |
| Project Number:                           |             | Project Number  |
| Date:                                     |             | Issue Date      |
| Project Name:                             |             | UNKNOWN         |
| Project Address:                          |             | PROJECT ADDRESS |
| Sheet Title:                              |             | FLOOR PLAN      |
| Sheet:                                    |             | A100            |
| Of:                                       |             |                 |